

**TOWNHOMES OF
EASTBROOKE CONDOMINIUM
PHASE I, II, & III**

**DECK – FENCE – BALCONY
HANDBOOK**

Approved 8/2014

Updated 1/2021

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INTRODUCTION

As part of the 1999 Annual Election, a referendum was held regarding making decks and fences optional features at the Townhomes of Eastbrooke Condominium. The referendum was passed by a majority of homeowners in all three phases.

Balconies at the Townhomes of Eastbrooke Condominium were part of the original design of the condominium.

GUIDELINES FOR INSTALLING DECKS AND FENCES

UNDERSTANDINGS:

- Decks and fences are optional features added at the discretion of individual homeowners. Homeowners will be responsible for all costs involved in installing and maintaining the structures. Homeowners will also be responsible for all problems and liabilities caused by decks and fences. Decks and fences will not be covered under the Townhomes of Eastbrooke Condominium's insurance policy.
- Responsibility for maintaining and/or removing decks and fences transfers to the new owner(s) when a unit is sold.
- The Townhomes of Eastbrooke will not assume responsibility for any costs associated with decks and fences.
- Decks and fences may be added to only those units which currently have outside patios.
- Largest deck or exterior fence dimensions is 9' x 12', which is the approximate dimension of the existing or preexisting bush trunk line (not the outside edges of the bushes). Eastbrooke maintenance staff will remove area bushes, if applicable, and stake out size of deck or fence.
- Decks and fences must be free standing (may not be attached to buildings).
- Bushes which form a boundary between adjoining patios may not be removed without the written consent of both homeowners.

BEFORE WORK BEGINS

- Deck and fence are to be installed by professional contractors who carry both general liability and worker's compensation insurance.
- Both decks and fences require
 - A building permit from the Town of Brighton and
 - An approved variance from the Eastbrooke Board of Managers
 - These documents must be obtained before any construction begins. Work will be halted if both items cannot be produced on demand.
- In Phase III (all odd numbered units) to prevent drainage problems resulting from deck installation, the concrete slab (patio) must be removed and replaced with landscape fabric and two inches of stone.
- In Phase I and II slabs (patio) do not have to be removed, but it must be understood that the Townhomes of Eastbrooke Condominium will not be responsible for repairs to the deck in the event that maintenance staff, utility workers, contractors, etc..., need to gain access to the slab.
- Decks must be pitched away from buildings.

GETTING A PERMIT FROM THE TOWN OF BRIGHTON:

- Building permits for decks and fences may be obtained at the Town of Brighton, 2300 Elmwood Avenue, Rochester, NY 14618 (585) 784-5250
<http://www.townofbrighton.org>
- Decks over 18" in height, including any attached railings, seats, etc. require building permits.
- Fences always require a building permit. The building permit for a fence is provided immediately upon application with the Town of Brighton.

MATERIALS NEEDED FOR A BUILDING PERMIT FOR DECKS

- Two (2) copies of the building plans for the deck showing materials, dimensions, footing depths, etc.
- Not required for fence.

GETTING A VARIANCE FROM THE EASTBROOKE BOARD OF MANAGERS

- Decks and fences may not be installed without permission from the Townhomes of Eastbrooke Condominium Board of Managers.
- Possession of a town or county building permit does not waive the required approved variance from the Townhomes of Eastbrooke Condominium Board of Managers.
- Request for a variance approval for construction of a deck or a fence should be submitted to the Board of Managers through the property management company, Kenrick Corporation. The Board will respond to the homeowner's variance request within thirty (30) days.
- Variance request form is available from the management company.
<https://kenrickfirst.com/eastbrooke-condominium>

MATERIALS NEEDED FOR A VARIANCE

- A completed/signed variance request form
- One (1) copy of the building plans for the deck/fence, showing materials, dimensions, footing depths, etc.
- One (1) copy of the Building Permit obtained from the Town of Brighton.
- Copies of both general liability and worker's compensation insurance certificates for the contractor.

APPROVED DECK STYLE DRAWING

APPROVED DECK STYLE:

deck area

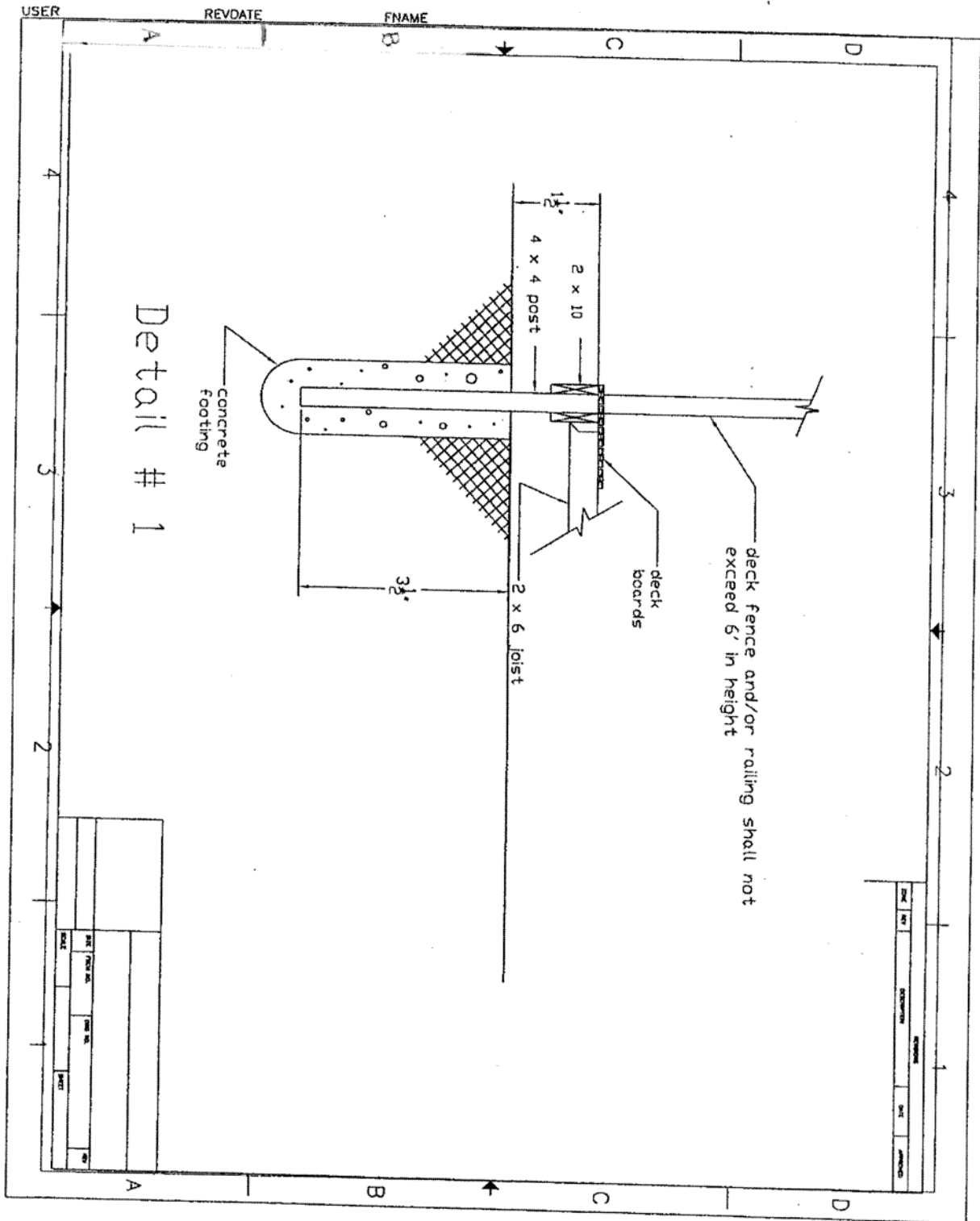
house

deck + fence area
9 x 12

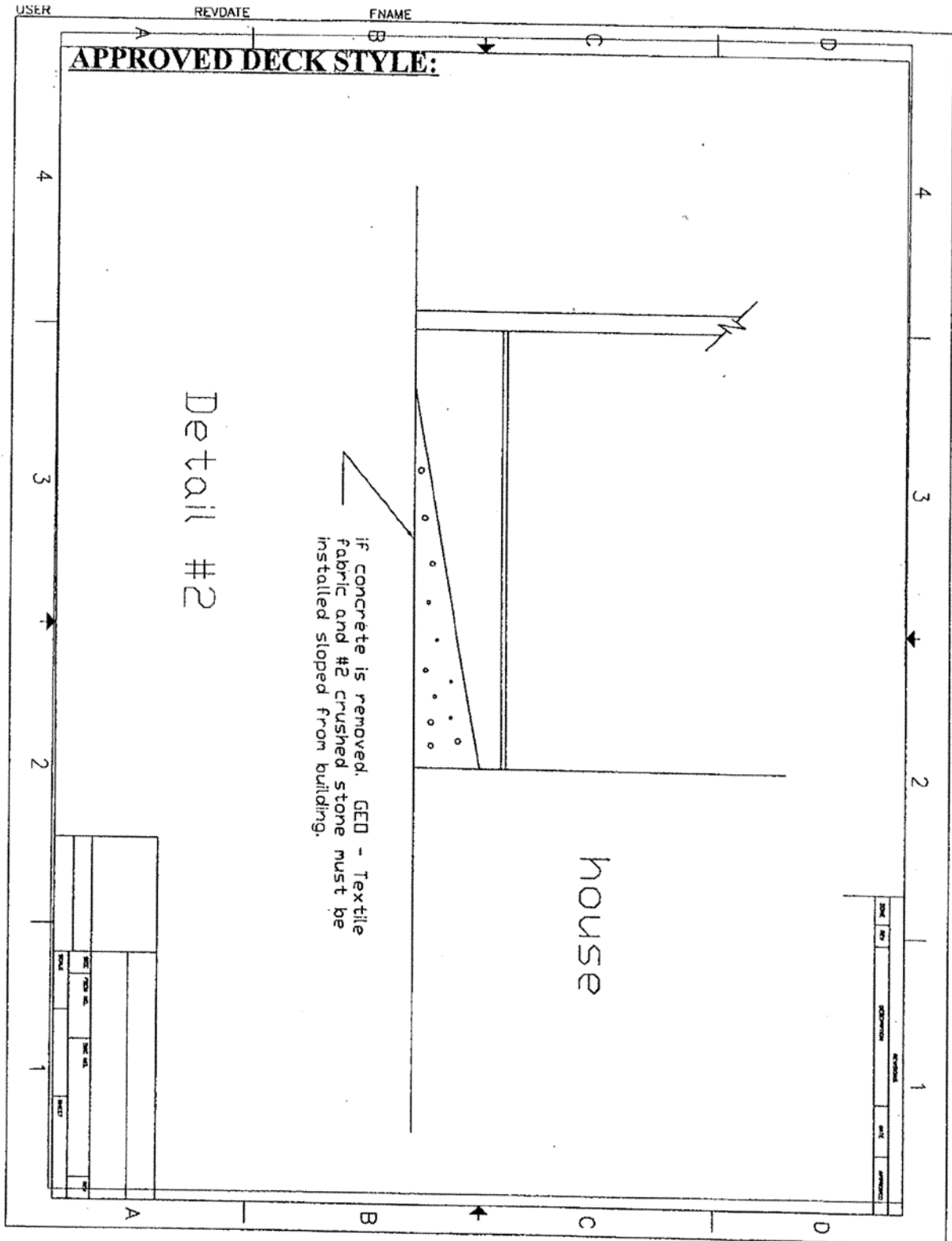
DATE	REV	DESCRIPTION	DATE	APPROVED
Basic Plan				

Drawn By: C. Fetterman	
KENRICK CORPORATION	
SHEET NO.	SHEET NO.
1	1
PART 1 of 1	

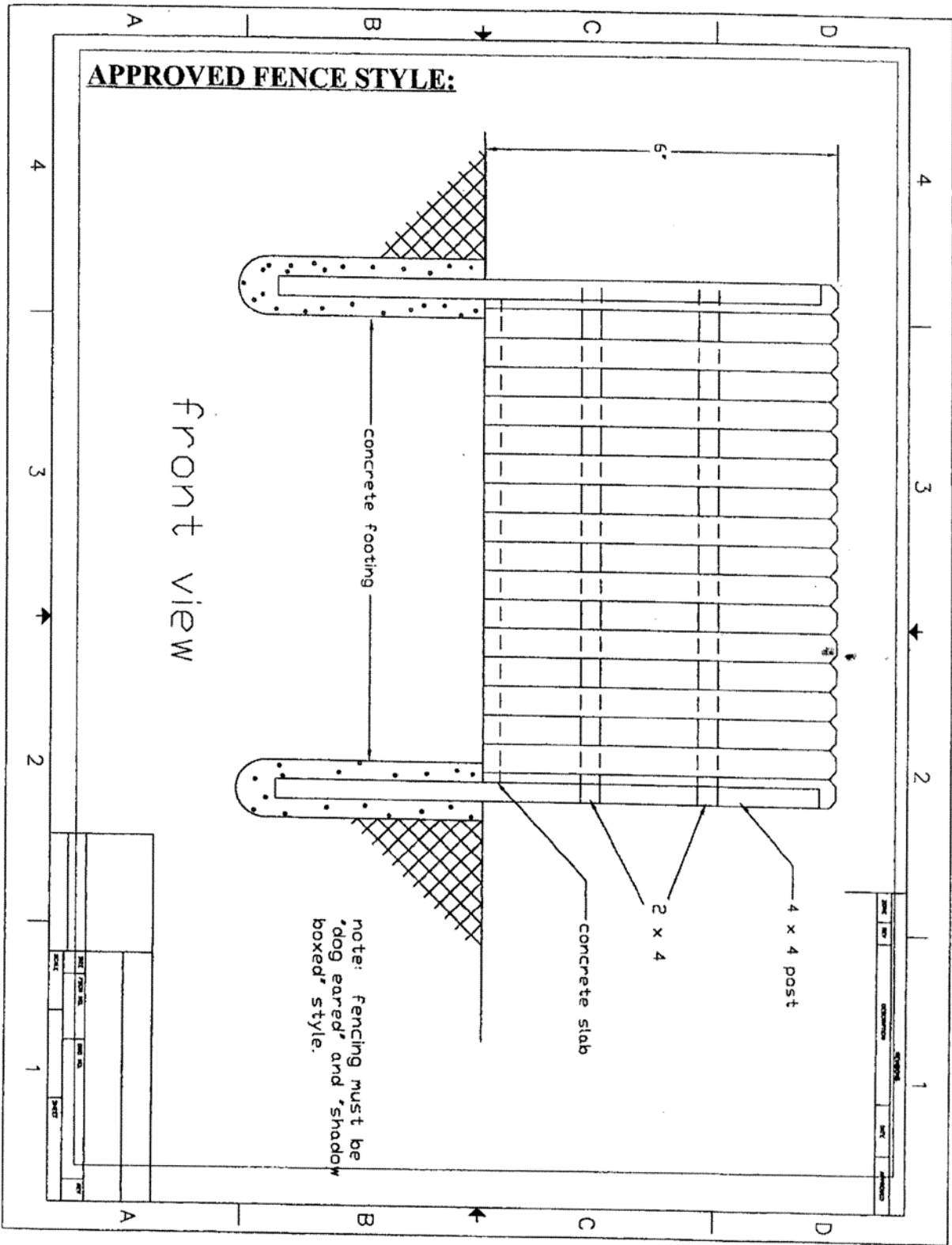
APPROVED DECK STYLE – DETAIL #1



APPROVED DECK STYLE – DETAIL #2



APPROVED FENCE STYLE DRAWING



NOTES TO ACCOMPANY EASTBROOKE DECK/FENCE PROJECT

- Fences must be three (3) sided and have a minimum three (3) foot opening with no gate
- Fences must be the shadow box (aka board-on-board) style with flat or dog eared top and can be made of pressure treated wood or white vinyl only.
- Fence must be six (6) feet high.
- Railings must not exceed three (3) feet in height from the deck floor. Deck railing may be pressure treated wood or white vinyl. If white vinyl railing is used on deck, style must be picket with decorative caps.
- Fences and decks must not be attached to buildings.
- Pressure treated wood fences and decks must be stained as soon as manufacturer's specifications permit. Fences and decks may not be painted and may not be left untreated. Pressure treated decks must be stained in a shade of brown and sealed/waterproofed at least every three (3) years. Composite material decks must have deck boards that are a shade of brown.
- All homeowners agree that the decks and fences will be properly maintained and repaired as needed. This agreement transfers to the new owner(s) when a unit is sold.
- Decks and fences will be inspected periodically. If in need of repair, owners will be notified and given thirty (30) days to repair them. If repairs are not completed within the noted timeframe, repairs could be made by Eastbrooke staff and owners will be billed for those repairs and fined for non-compliance with Eastbrooke Rules and Regulations.



DECK AND FENCE SUMMARY

1. Read Deck, Fence and Balcony Handbook carefully
2. Obtain a building permit from the Town of Brighton
3. Share approved deck and fence information with a professional, insured, deck and fence contractor
4. Submit and obtain an approved variance from the Townhomes of Eastbrooke Condominium Board of Managers
5. Be sure that approved materials are used and that construction plans are followed
6. Have your inspections by the Eastbrooke Superintendent before, during and after the construction is completed
7. Enjoy your new deck and fence and be sure to maintain it properly

GUIDELINES FOR REPAIR AND MAINTENANCE OF BALCONIES

Balconies at the Townhomes of Eastbrooke Condominium were part of the original construction of the condominium.

Repairs to the entire structure of the balcony (supports, decking, railing, etc.) is the responsibility of the owner. An approved Townhomes of Eastbrooke Condominium Board of Managers variance is required for any exterior repairs. Your variance must include a description of the repair noting materials, a drawing including dimensions and specifics, general liability and worker's compensation insurance certificates for your contractor. The Board of Managers has thirty (30) days to review your variance.

Maintenance to the balcony wooden support structure:

- If the balcony wooden support structure is painted, it is the responsibility of the Townhomes of Eastbrooke Condominium to repaint the wooden support structure as needed. A previously painted support structure cannot be stained.
- If the balcony wooden support structure is stained, it is the responsibility of the owner to re-stain the support structure as needed. A previously stained support structure cannot be painted.

Maintenance to balcony fascia, flooring (carpet), railing, etc. are the responsibility of the owner. There are specific guidelines based on the type of balcony (over entry, over garage, tongue and groove ceiling). See individual guidelines on following pages.

Balcony Carpeting: Indoor/outdoor all weather carpet (in shades of grey or brown only) is allowed on the deck flooring only. It is the owner's responsibility to replace carpeting as needed.

Balcony Entry Doors: There are 2 approved styles of entry doors for the balcony: A white, single entry door w/15 glass panels or a white, all glass siding door.

Balcony Storm Doors: There are 2 approved styles of storm doors for the balcony: A white, full view storm door or a white, ¾ view storm door (may be self-storing, as appearance is similar approved styles)

Balconies will be inspected periodically. If repairs are needed, owners will be notified and given thirty (30) days to repair them. If repairs are not completed within the noted timeframe, owners will be fined.

BALCONY SPECS

Townhomes of Eastbrooke Balcony Specifications for Balconies Over Entry Ways

Prior to any work beginning the Eastbrooke Superintendent
must be notified at 585/244-7599.

Complete restructures must obtain a Building Permit from the
Town of Brighton and must be in accordance with all local building codes

1. Remove existing railing.
2. Disassemble existing balcony to expose all sub framing.
3. All existing non pressure treated lumber must be removed and cut back to be flush with the exterior side of the building's exterior sheathing.
4. Install proper underlayment prior to installation of house ledger, to include Z flashing over J-Channel below ledger.
5. Install ledger board at house as typical deck installation following local building codes for fastening and installation, install Z flashing at the top of house ledger using custom bent aluminum flashing.
6. Ensure two posts are suitable for structural support (not rotted), posts having visible damage from weather or external forces must be replaced. If replacement is needed, the contractor must follow local building codes for all spacing and size requirements.
7. Install two 2x10 pressure treated framing perpendicular to building at posts as typical deck framing using approved teco brackets per local building code.
8. Repair siding below, if applicable, where existing sleepers ran perpendicular to balcony will include the installation of DOW foam board to match the existing thickness of DOW foam board already present on building; upon completion of fixing siding, aluminum "Z" flashing will be installed over the top of J-Channel directly below balcony and taped using proper exterior flashing tape. Siding color must match existing building color.
9. Standard pressure treated floor joists must be used and fastened to conform to local building codes for the Town of Brighton, Building Dept. of Monroe County. 16" floor joist spacing is required. (See #11 for joist spacing exception.)

Property Superintendent inspection of rough framing:

(Signature) Date:_____

BALCONY SPECS – OVER ENTRYWAYS (CONT)

10. Prior to installing any decking, “L” bend flashing will be installed up head/house wall a minimum of 6” and over new decking joists a minimum of 6”.
11. Decking may be installed at this time if this conversion is being performed. If diagonal placement of composite boards is used then the joist spacing has to be 12”. The chosen colors are as follows (end grains of decking materials will later be covered by new PVC trim)
From Azec Terra collection:
 - Sedona
 - Kona
 - FawnFrom Azec Harvest collection:
 - Medona
12. Install/re-install railing. White vinyl railing with square picket style spindles (see photo) is the only style approved by BOM. Railings must be installed per local building codes.
13. Install new CertainTeed Restorations Millwork PVC trims around fascia/skirting of deck to cover pressure treated lumber and the end grains of decking.
14. Install deck under carriage ceiling per manufacturer’s instructions manual; only approved style for this balcony to deck conversion is **UnderShield in beaded, white panels only (manufactured by Certainteed)**; which is a maintenance free vinyl ceiling product accepted by Eastbrooke Board of Managers.

Inspection by property Superintendent: _____ Date: _____
(Signature)

Certificate of Occupancy (C of O) is required from the Town of Brighton.
Upon C of O receipt a copy must be provided to
Kenrick Corporation, 3495 Winton Place, Bldg. D, Suite 4, Rochester, NY 14623

This is a basic specification. All current local building codes must be verified and followed.
Current building codes supersede these specifications. If any requirements are above and
beyond the included specifications, Property Superintendent must be notified.

Townhomes of Eastbrooke Balcony Specifications for Balconies with Tongue and Groove Ceilings, Flat Roofing Materials and Carpet

Prior to any work beginning the Eastbrooke Superintendent
must be notified at 585/244-7599.

Repair must be in accordance to all local building codes

1. Remove existing railing.
2. Remove old carpeting if present and existing roofing materials for disposal.
3. Inspect all sheathing for rot and deterioration and structural stability. If sheathing is compromised and needs to be replaced a full framing inspection of the sub structure should be performed at this time, any rotted, deteriorated and/or structurally compromised framing materials should be replaced and/or repaired in accordance with local building codes. Due to this style of balcony, with a rubber membrane, standard lumber may be used not pressure treated (exterior grade plywood should be used for sheathing replacement).

At this time the contractor shall review and fully discuss needed structural repairs with the homeowner prior to making any repairs.

Eastbrooke Superintendent must also be notified of intended repairs.

Contractor signature: _____ Date: _____

Homeowner signature: _____ Date: _____

Superintendent signature: _____ Date: _____

4. Prior to the installation of EPDM rubber roofing all fascia/skirt boards will be replaced with Restorations Millwork Trim by CertainTeed. All existing fascia/skirt board trim is required to keep the same existing dimensions as was removed.
5. The first two courses of siding should be removed for the purpose of wrapping the EPDM rubber up the head wall/house wall (rubber will be glued directly to exterior sheathing not over foam board). Also the aluminized boards on wall in which the railings are secured should be removed as well, to allow rubber wrap up wall; re-install upon completion of rubber installation.
6. Upon completion of framing and sheathing repairs EPDM fully adhered roofing membrane can be installed at this time. One piece rubber only.

BALCONY SPECS – TONGUE & GROOVE CEILINGS (CONT)

- Fiber board should be used under EPDM Rubber Membrane, fiber board (cello-tex) will be installed by using plates and screws as is typical for EPDM installation (note: if fiber board (cello-tex) cannot be used due to storm door height and risk of puncturing or scuffing rubber, plywood sheeting must be secured with exterior grade screws and inspected for splinters and/or nail heads that may puncture rubber prior to rubber installation).
- Proceed to fully glue down rubber ensuring a minimum of 12-16” wrap up house head wall and a minimum of 2” wrap around balcony perimeter to later be secured with 1 x 2 PVC trim.

Inspection required by property Superintendent before proceeding:

(Signature) Date: _____

7. Reinstall siding on house wall to include board in which railings are secured. If Aluminum is damaged while removing and/or replacing the contractor will be responsible for repair/replacement.
8. Install/re-install railing. White vinyl railing with square picket style spindles (see photo) is the only style approved by BOM. Railings must be installed per local building codes. Use proper roofing sealant at bolt locations for railing posts (i.e. Lap sealant for EPDM rubber roofing system.)
9. Install “RUBBER” backed indoor/outdoor carpeting; colors approved by Eastbrooke BOM are neutral Greys or Browns only. Carpeting should wrap around edge of balcony a minimum of 2” covering rubber and secured to balcony using 1 x 2 rough cut cedar and/or wood grain PVC trim (white) as was existing around the exterior perimeter of balcony approximately 2-3” down from top of deck.
10. Ceiling repairs if needed due to rot and deterioration should consist of the use of 6” tongue and groove cedar planking as is existing.
11. If 4 x 4 posts trim needs replacement, and/or vertical supports in which connect the posts to house, Restorations Millwork Trim by CertainTeed must be used. All existing fascia/skirt board trim is required to keep the same existing dimensions as was removed.

Inspection required by property Superintendent upon completion:

(Signature) Date: _____

This is a basic specification. All current local building codes must be verified and followed. Current building codes supersede these specifications. If any requirements are above and beyond the included specifications, Property Superintendent must be notified.

BALCONY SPECS

Townhomes of Eastbrooke Specifications for Conversion from Flooring to Decking for Balconies over Garages

This application should be used when a change is being made from a rubber and carpet application to composite decking application.

Prior to any work beginning the Eastbrooke Superintendent must be notified at 585/244-7599.

This is a complete restructure therefore a Building Permit from the Town of Brighton must be obtained and all local building codes must be followed.

1. Remove existing railing.
2. Remove and dispose of existing balcony to expose floor joists.
3. Remove drywall in garage ceiling as needed for proper installation of new 2 x 8 pressure treated floor joists, which will be cantilevered along current joists at least 6' from the plywood sheathing on the house exterior wall.
4. All existing floor joists will be cut back flush with exterior wall, flashing taped and covered with aluminum flashing. Original joists may not be exposed to exterior conditions in any way.
5. Repair siding below, if applicable, where existing sleepers ran perpendicular to balcony. This will include the installation of DOW foam board to match the existing thickness of DOW foam board already present on building.
6. Upon completion of siding repair, aluminum "Z" flashing will be installed over the "J" channel directly under the balcony and taped using the proper exterior flashing tape. Siding color must match existing building color.
7. Standard Pressure treated floor joists must be sistered and fastened to conform to local building codes for the Town of Brighton Building Dept. Floor joist spacing of 16" is required. (See #10 for joist spacing exception.)
8. Inspection by superintendent required prior to installation of new drywall to garage ceiling.

Property Superintendent inspection of rough framing:

Signature: _____ Date: _____

9. Prior to installing any decking, "L" bend flashing will be installed up head/house wall a minimum of 6" and over new decking joists a minimum of 6".

BALCONY SPECS – CONVERSION FROM FLOORING TO DECKING (CONT)

10. Decking is installed at this point. If composite decking is being used, the use of composite decking is required. If diagonal placement of composite boards is used then the joist spacing has to be 12". End grains of decking materials will be covered later by new PVC trim. The allowed colors are:

From Azec Terra Collection:

- Sedona
- Kona
- Fawn

From Azec Harvest Collection:

- Medona

11. Install/re-install railing. White vinyl railing with square picket style spindles (see photo in Deck, Fence and Balcony Handbook) is the only style approved by BOM. Railings must be installed per local building codes.

12. Install new CertainTeed Restorations Millwork PVC trims around fascia/skirting of deck to cover pressure treated lumber and the end grains of decking.

13. Install vapor barrier prior to installing new drywall in garage to match existing drywall thickness. Fire tape finishing of drywall is required.

14. Install deck under carriage ceiling **UnderShield in beaded, white panels only** (manufactured by CertainTeed); which is a maintenance free vinyl ceiling product accepted by Eastbrooke Condominium.

15. Final inspection is required by Property Superintendent at this time.

Property Superintendent final inspection of construction:

Signature: _____ Date: _____
(Signature)

Certificate of Occupancy (C of O) is required from the Town of Brighton.
Upon C of O receipt a copy must be provided to
Kenrick Corporation, 3495 Winton Place, Bldg. D, Suite 4, Rochester, NY 14623

This is a basic specification. All current local building codes must be verified and followed.

Current building codes supersede these specifications.

If any requirements are above and beyond the included specifications,

Property Superintendent must be notified.

APPROVED FENCE EXAMPLES: FLAT TOP OR DOG-EARED SHADOW BOX FENCE STYLE - IN PRESSURE TREATED WOOD OR WHITE VINYL ONLY (BOM approved 8/2014)

APPROVED FENCE STYLES WHITE VINYL OR PRESSURE TREATEDWOOD

WHITE VINYL OR PRESSURE TREATEDWOOD FLAT TOP, SHADOW-BOX FENCE



WHITE VINYL OR PRESSURE TREATEDWOOD DOG-EARED, SHADOW-BOX FOR FENCE

